

1) ADEQUATE GRADING & DRAINAGE MEASURES ARE TO BE PROVIDED AROUND THE BUILDING TO PREVENT SURFACE STORMWATER COLLECTING ADJACENT THE BUILDING.

2) CONTRACTOR IS TO DETERMINE LOCATION AND DEPTHS OF EXISTING SERVICES PRIOR TO EXCAVATION.

3) ALL DIMENSIONS ARE TO BE CONFIRMED ONSITE PRIOR BEFORE MATERIALS ARE ORDERED.

4) THE BUILDING CONTRACTOR IS TO LIASE ONSITE WITH THE OWNER THE EXTENTS & CONDITIONS OF THE PROPOSED NEW WORK.

5) ALL CONTRACTORS & SUB-CONTRACTORS ARE TO BE LICENCED IN THIER PROFESSIONAL RELEVANT TRADE, THEY ARE TO COMPLY TO ALL THE GUIDELINES AND REGULATIONS WITHIN THAT TRADE.

6) INSTALLATION OF ALL MATERIALS AND FITTINGS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS.

7) AREAS THAT ARE DISTURBED DURING CONSTRUCTION OF NEW WORKS ARE TO BE REINSTATED BY THE BUILDER.

8) ALL NEW WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (B.C.A) AND ANY RELEVANT AUSTRALIAN STANDARDS. ALL NEW WORKS ARE ALSO TO BE CARRIED OUT TO THE LOCAL AUTHORITIES REQUIREMENTS AND SPECIFICATIONS.

9) THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS, BASIX CERTIFICATE AND ANY OTHER RELEVANT DRAWINGS AND DOCUMENTS PROVIDED.

10) THE CONTRACTOR OR SITE SUPERVISOR IS TO ENSURE THAT THE PROPOSED SITE IS SECURE FROM FROM UNAUTHORISED PERSONS DURING CONSTRUCTION. THE CONTRACTOR OR SITE SUPERVISOR IS ALSO TO ENSURE THAT THE PROPOSED WORK SITE IS MAINTAINED AS A SAFE WORK AREA IN ACCORDANCE WITH THE LOCAL AUTHORITIES GUIDELINES, REGULATIONS & OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS.

1) WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS 3600 CONCRETE STRUCTURES.

2) SPECIFICATION TO BE IN ACCORDANCE WITH AS 1379.

3) ALL NEW CONCRETE FOOTINGS, SLABS AND REINFORCEMENT ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERS DESIGN.

4) ALL CONCRETE SLAB & FOOTINGS FOR CLASS 1 & 10a BUILDINGS TO COMPLY WITH AS2870 'RESIDENTIAL SLAB & FOOTINGS'.

1) WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS 3700.

1) ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 1720 AND AS 1684.

1) ALL WORKS ARE TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, AND AUSTRALIAN STANDARD AS 3500 OR ANY RELEVANT ASSOCIATED AUSTRALIAN STANDARD.

1) ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH AS 5601.

1) ALL ELECTRICAL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH AS/NZS 3008 AND SAA HB 301.

2) ALL TELECOMMUNICATIONS WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING STANDARDS:


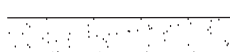





- AS/ACIF S008
- AS/ACIF S009
- AS/NZS 3080
- SAA HB 29

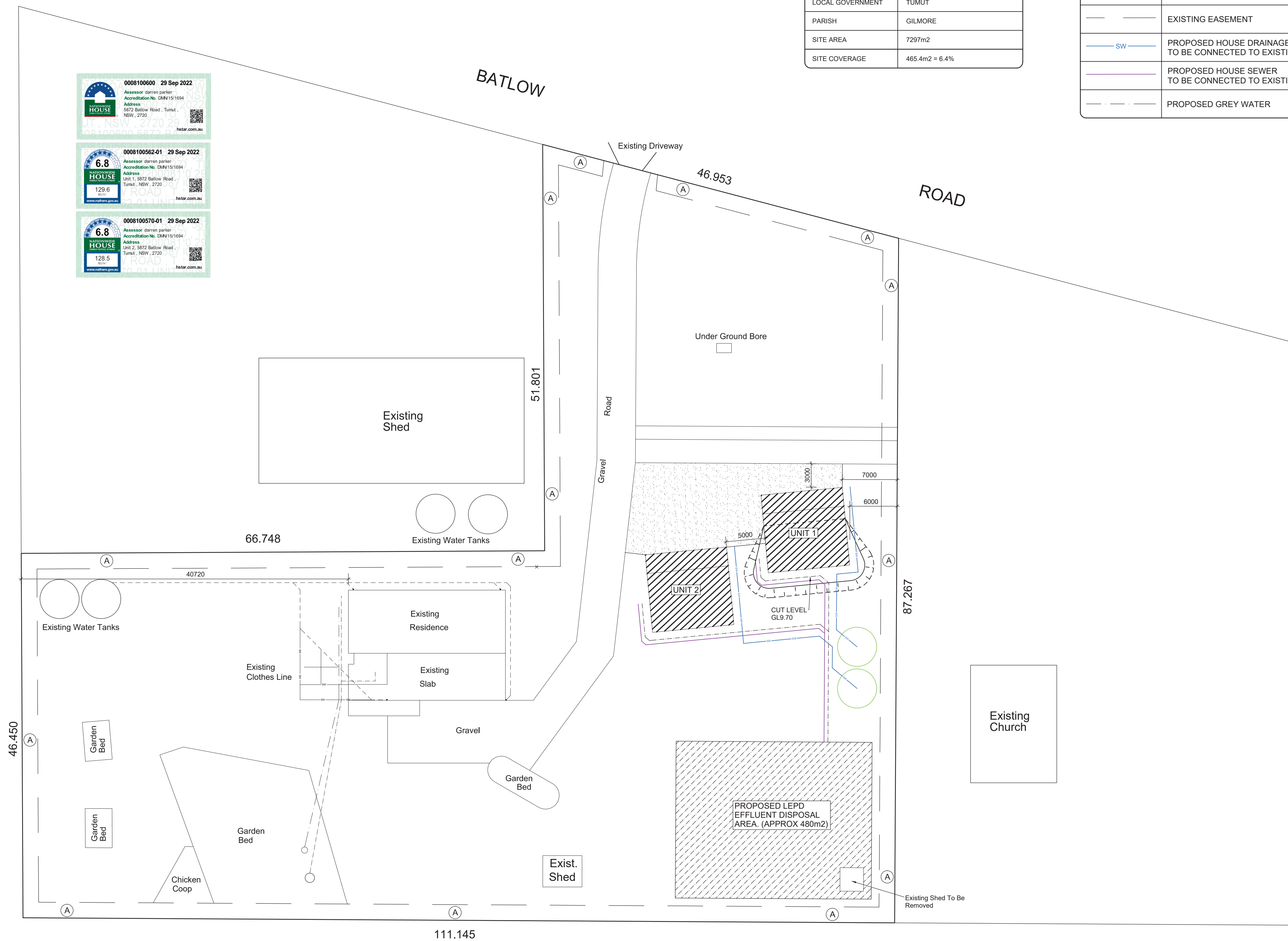
3) ALL ELECTRICAL AND TELECOMMUNICATIONS WORKS ARE TO BE INSTALLED WITH THE APPROPRIATE DEGREES OF PROTECTION AS PER AS 60529.

1) THE BUILDING CONTRACTOR SHALL SUPPLY, INSTALL AND MAINTAIN THE FOLLOWING, IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS:

- STABILISED ENTRY POINT
- SEDIMENT CONTROL MEASURES
- SITE TOILET
- CONTROLLED RUBBISH AREA



LEGEND	
ITEM	COMMENTS
	PROPOSED NEW ADDITIONS
	PROPOSED GRAVEL
	PROPOSED RAINWATER TANKS
	EXISTING EASEMENT
	PROPOSED HOUSE DRAINAGE TO BE CONNECTED TO EXISTING
	PROPOSED HOUSE SEWER TO BE CONNECTED TO EXISTING
	PROPOSED GREY WATER



496 Koorringal Road, Wagga Wagga, NSW, 2650
Mobile (0400) 659 081
Email: markwillard81@gmail.com

A.B.N.
58 051 212 503

THE INFORMATION AND DESIGN CONCEPTS PROVIDED ON THESE DRAWINGS, OR ANY OTHER DOCUMENTATION OBTAINED BY M WILLARD DESIGN & DRAFTING, IS ON THE UNDERSTANDING THAT THEY REMAIN THE PROPERTY OF M WILLARD DESIGN & DRAFTING. A.B.N. 58051212503, AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN CONSENT.

SHEET SUBJECT
SITE PLAN

•

•

CLIENT
Mr. K. & Mrs. M. WILLARD

DESIGNED
M. Willard

SCALE
1:300 (A1)
1:600 (A3)

CLIENT

Mr. K. & Mrs. M. WILLARD

A	27/02/2021	ISSUED FOR COUNCIL APPROVAL	M.W.
No.	DATE	AMENDMENTS	BY

PROJECT
PROPOSED SELF CONTAINED UNITS
LOT 1 , DP 431751
5872 BATLOW ROAD, GILMORE, N.S.W.

COUNCIL REF.	PROJECT NO.	SHEET NO.	ISSUE	
.	210201	1 OF 4	A	

LEGEND	
ITEM	COMMENTS
	PROPOSED 270mm DOUBLE BRICK WALL
	PROPOSED 90x35 INTERNAL WALLS
	PROPOSED FLOOR WASTE LOCATIONS

FLOOR AREAS	
LOCATION	AREA
LIVING - UNIT 1	78.4m²
VERANDAH - UNIT 1	25.0m²
LIVING - UNIT 2	78.4m²
VERANDAH - UNIT 2	25.0m²
TOTAL	206.8m²

EXTERIOR & INTERIOR WALL SCHEDULE

WALL TYPE	COMMENTS
EXTERNAL WALLS	270mm DOUBLE BRICK WALL: 110mm GRADE CLAY BRICK WALL WEEPHOLES TO AS 3700 DAMP PROOF COURSING EXPANSION JOINTS @ 6m MAX. FILLED WITH POLYURETHANE BACKING RODS & MASTIC 50mm CAVITY 110mm GRADE CLAY BRICK WALL
INTERNAL WALLS	90mm TIMBER STUD FRAME WALL: 90x35mm TREATED TIMBER STUD FRAME WALL WITH 10mm PLASTERBOARD TO BOTH SIDES, USE VILLABOARD IN WET AREAS, PAINT FINISH.

EXTERIOR WINDOW & DOOR SCHEDULE

DOORS	SIZE & TYPE	GLAZING AREA	COMMENTS	COLOUR
D1	2100H x 1800W GLAZED ALUMINIUM INCLUDING 'CLEARGUARD' SECURITY SCREEN DOOR	3.78m²	DOUBLE GLAZED	MANOR RED
D2	2100H x 820W SOLID TIMBER DOOR	0.0m²	WEATHER RESISTANT	MANOR RED
WINDOWS	SIZE & TYPE	GLAZING AREA	COMMENTS	COLOUR
W1	1200H x 1800W ALUMINIUM AWNING	2.16m²	DOUBLE GLAZED	MANOR RED
W2	600H x 900W ALUMINIUM AWNING	0.54m²	DOUBLE GLAZED	MANOR RED
W3	1200H x 1800W ALUMINIUM AWNING	2.16m²	DOUBLE GLAZED	MANOR RED
W4	1200H x 1800W ALUMINIUM AWNING	2.16m²	DOUBLE GLAZED	MANOR RED
W5	900H x 1800W ALUMINIUM AWNING	1.62m²	DOUBLE GLAZED	MANOR RED

EXTERIOR ROOFING SCHEDULE

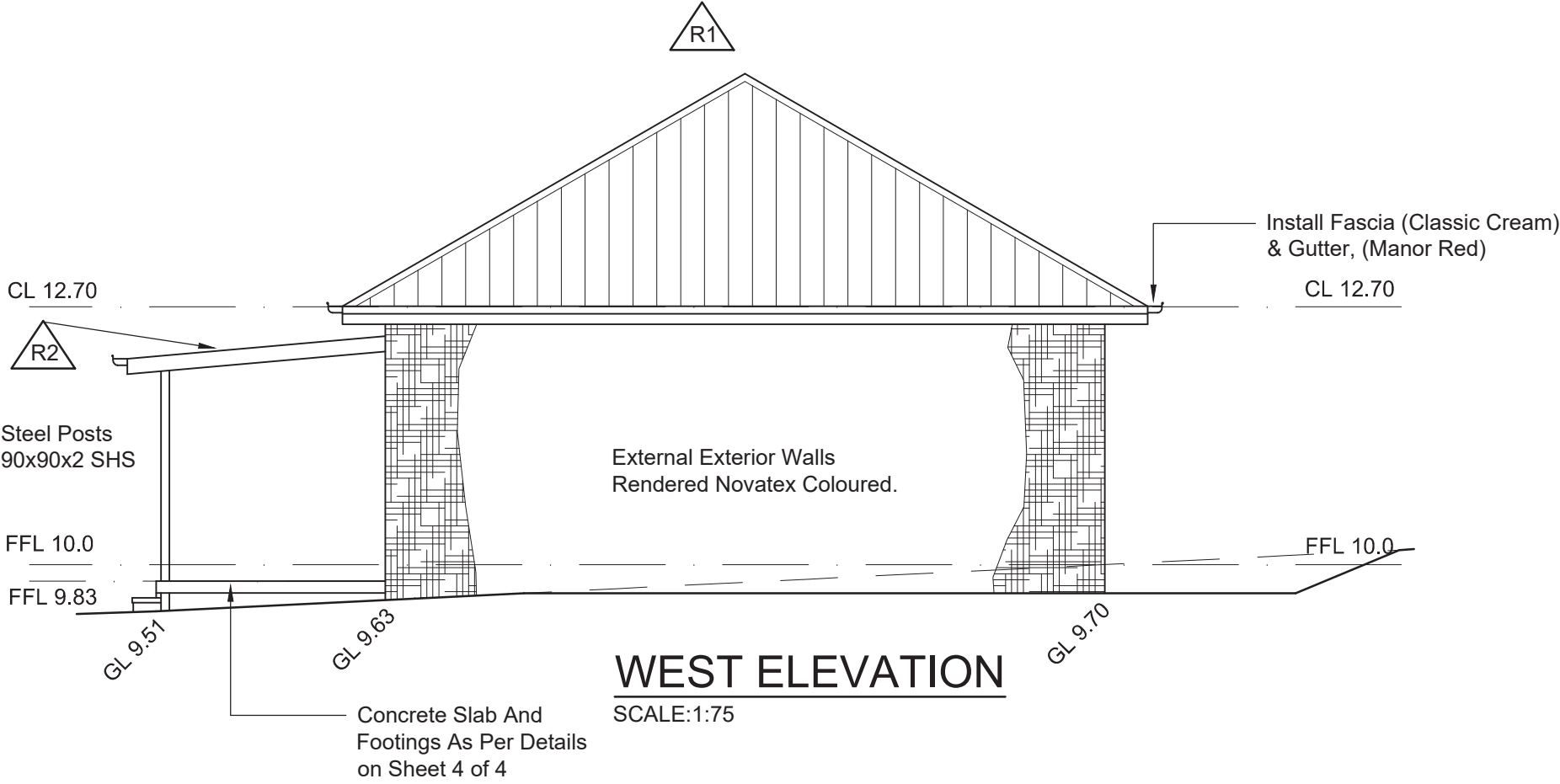
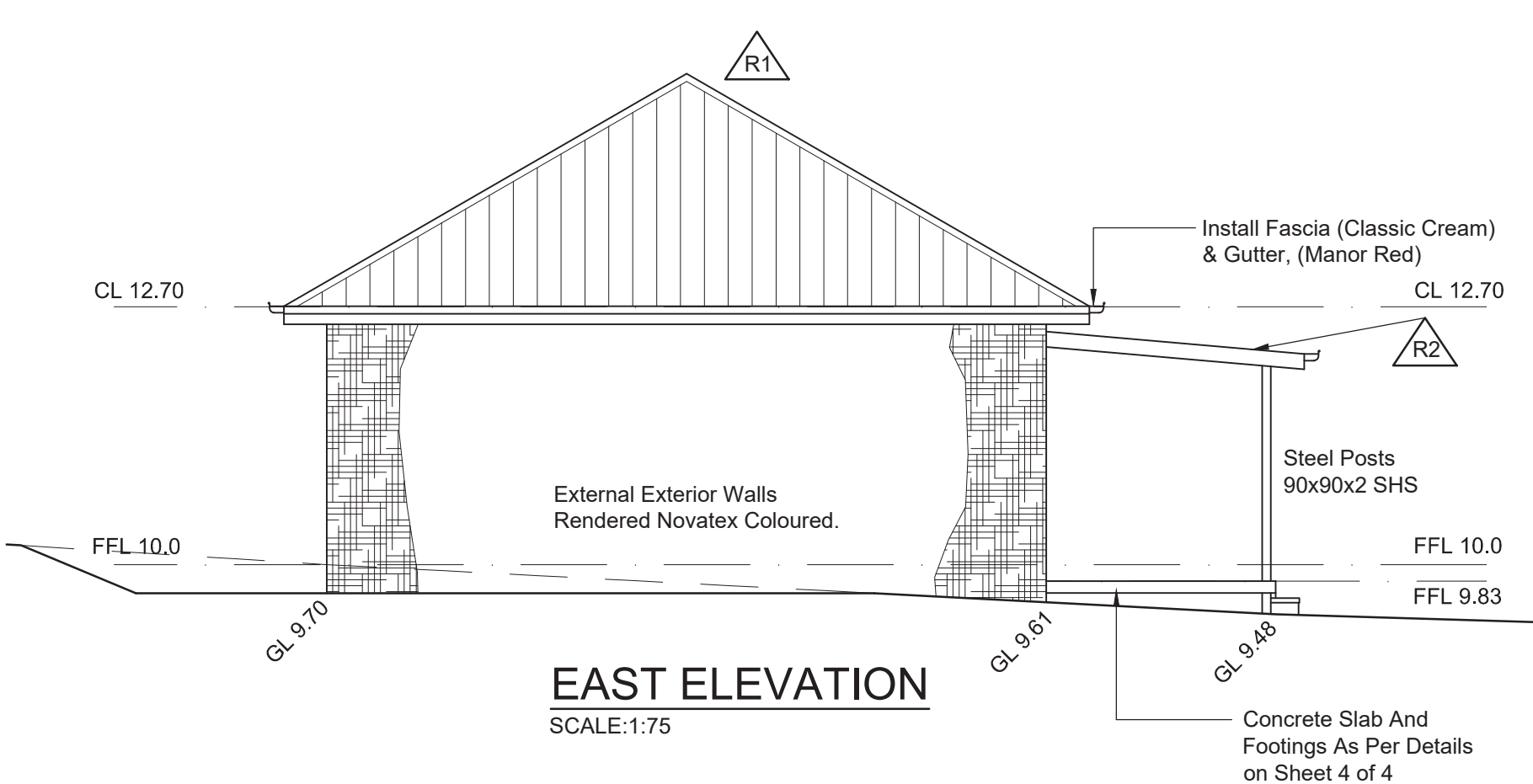
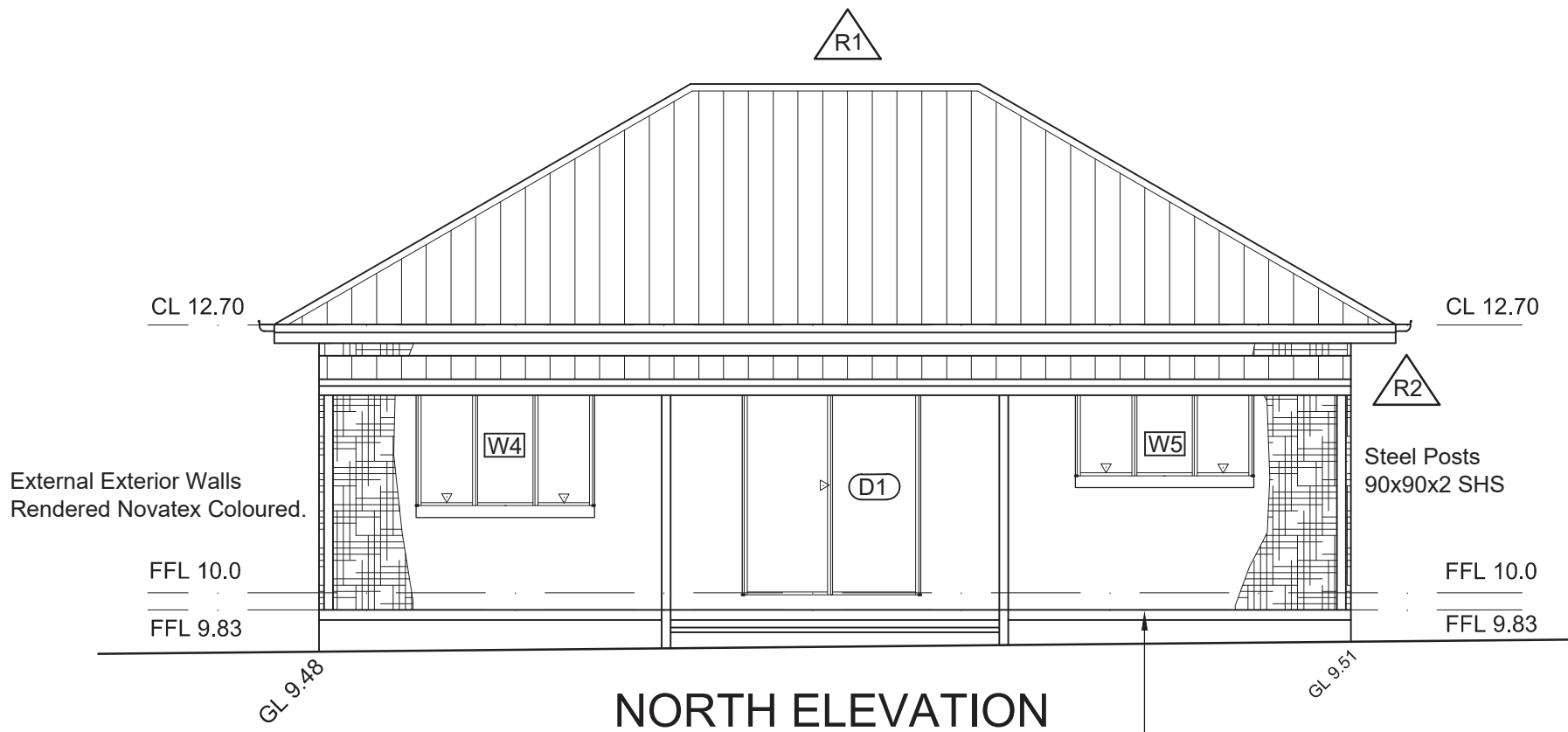
ROOF	ROOF TYPE	ROOF PITCH	COMMENTS	COLOUR
R1	METAL	30.0°	COLORBOND CUSTOM-ORB ROOF SHEETING 75x38 ROOF BATTENS @ 900 CTS GANG NAIL ROOF TRUSSES @ 900 CTS R3.0 INSULATION GALV. CEILING BATTENS @ 450 CTS 10mm GYPROCK CEILING	IRONSTONE
R2	SKILLION	3.00°	COLORBOND CUSTOM-ORB ROOF SHEETING 100x50x2 RHS ROOF BATTENS @ 900 CTS 100x50x2 RHS RAFTERS @ POST LOCATIONS R2.0 INSULATION	IRONSTONE

WIND CLASSIFICATION

ITEM	COMMENTS
REGION	A
TERRAIN	TC2.5
SHEILDING	NS
TOPOGRAPHY	T1
WIND CLASS	W33N
WINDOW RATING	750/150
AS 4055 RATING	N2

FLOOR FINISHED LEVELS

LOCATION	LEVEL
F1	9.80
F2	9.70
F1	10.30
F2	10.20



M WILLARD
DESIGN & DRAFTING

496 Kooringal Road, Wagga Wagga, NSW, 2650
Mobile (0400) 659 081
Email: markwillard81@gmail.com

A.B.N.
58 051 212 503

THE INFORMATION AND DESIGN CONCEPTS PROVIDED ON THESE DRAWINGS, OR ANY OTHER DOCUMENTATION OBTAINED BY M WILLARD DESIGN & DRAFTING, IS ON THE UNDERSTANDING THAT THEY REMAIN THE PROPERTY OF M WILLARD DESIGN & DRAFTING. A.B.N. 58051212503, AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN CONSENT.

SHEET SUBJECT
UNIT 1
FLOOR PLAN AND
ELEVATIONS

CLIENT
Mr K. & Mrs M. WILLARD

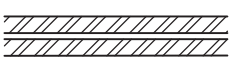


DESIGNED
M.Willard

SCALE
1:100 (A1), 1:75 (A1)
1:200 (A3), 1:150 (A3)

B	19/09/2022	AMENDMENTS TO NORTH ELEVATION & EXT. WINDOW SCHEDULE	M.W.
A	27/02/2021	ISSUED FOR COUNCIL APPROVAL	M.W.
No.	DATE	AMENDMENTS	BY

PROJECT
PROPOSED SELF CONTAINED UNITS
LOT 1, DP 431751
5872 BATLOW ROAD, TUMUT, N.S.W.

COUNCIL REF.	PROJECT NO.	SHEET NO.	ISSUE
.	210201	2 of 4	B

LEGEND	
ITEM	COMMENTS
	PROPOSED 270mm DOUBLE BRICK WALL
	PROPOSED 90x35 INTERNAL WALLS
	PROPOSED FLOOR WASTE LOCATIONS

FLOOR AREAS	
LOCATION	AREA
LIVING - UNIT 1	78.4m²
VERANDAH - UNIT 1	25.0m²
LIVING - UNIT 2	78.4m²
VERANDAH - UNIT 2	25.0m²
TOTAL	206.8m²

EXTERIOR & INTERIOR WALL SCHEDULE

WALL TYPE	COMMENTS
EXTERNAL WALLS	270mm DOUBLE BRICK WALL: 110mm GRADE CLAY BRICK WALL WEEPHOLES TO AS 3700 DAMP PROOF COURSING EXPANSION JOINTS @ 6m MAX. FILLED WITH POLYURETHANE BACKING RODS & MASTIC 50mm CAVITY 110mm GRADE CLAY BRICK WALL
INTERNAL WALLS	90mm TIMBER STUD FRAME WALL: 90x35mm TREATED TIMBER STUD FRAME WALL WITH 10mm PLASTERBOARD TO BOTH SIDES, USE VILLABOARD IN WET AREAS, PAINT FINISH.

EXTERIOR WINDOW & DOOR SCHEDULE

DOORS	SIZE & TYPE	GLAZING AREA	COMMENTS	COLOUR
D1	2100H x 1800W GLAZED ALUMINIUM INCLUDING 'CLEARGUARD' SECURITY SCREEN DOOR	3.78m²	DOUBLE GLAZED	MANOR RED
D2	2100H x 820W SOLID TIMBER DOOR	0.0m²	WEATHER RESISTANT	MANOR RED
WNOWS	SIZE & TYPE	GLAZING AREA	COMMENTS	COLOUR
W1	1200H x 1800W ALUMINUM AWNING	2.16m²	DOUBLE GLAZED	MANOR RED
W2	600H x 900W ALUMINUM AWNING	0.54m²	DOUBLE GLAZED	MANOR RED
W3	1200H x 1800W ALUMINUM AWNING	2.16m²	DOUBLE GLAZED	MANOR RED
W4	1200H x 1800W ALUMINUM AWNING	2.16m²	DOUBLE GLAZED	MANOR RED
W5	900H x 1800W ALUMINUM AWNING	1.62m²	DOUBLE GLAZED	MANOR RED

EXTERIOR ROOFING SCHEDULE

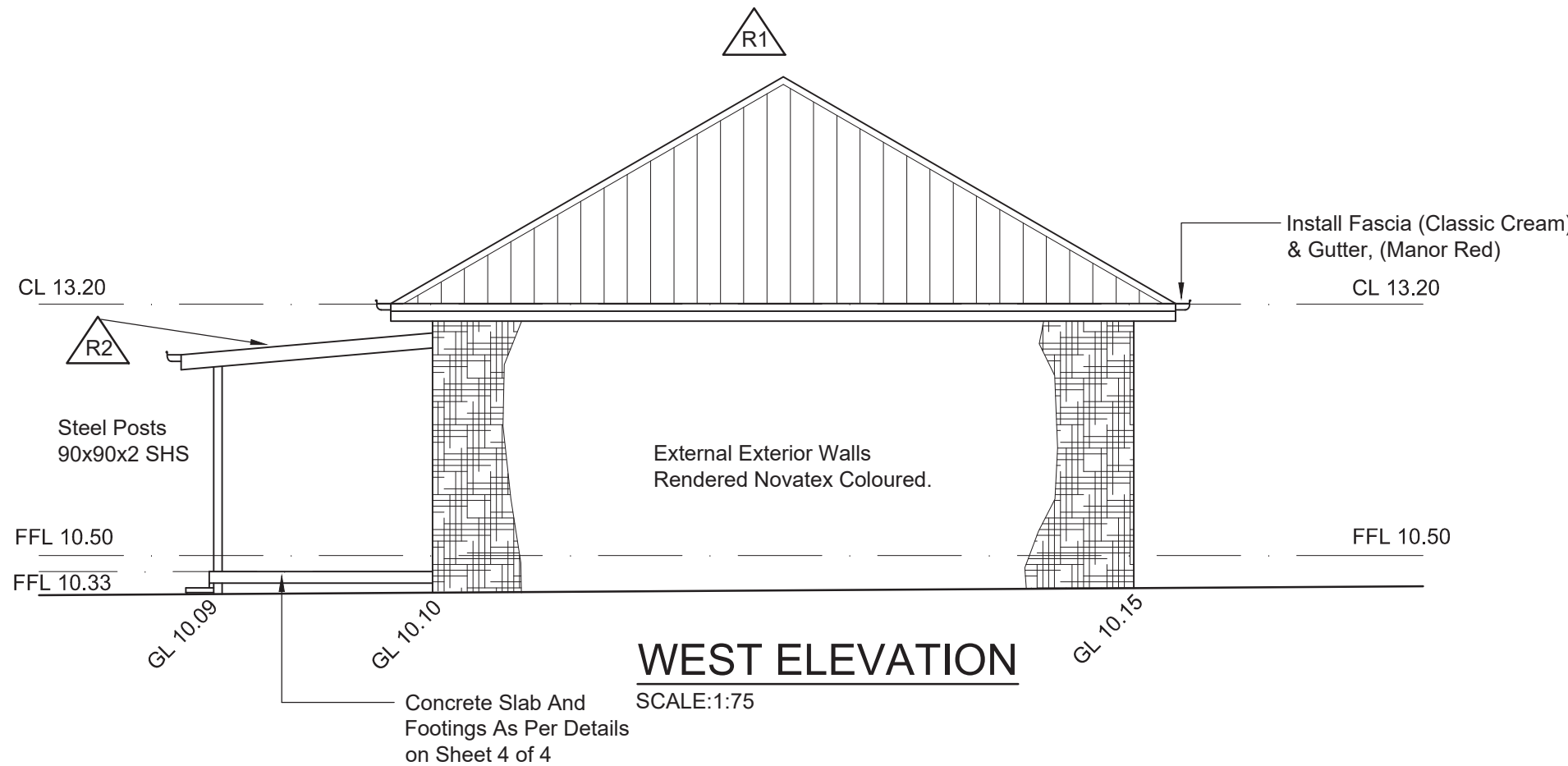
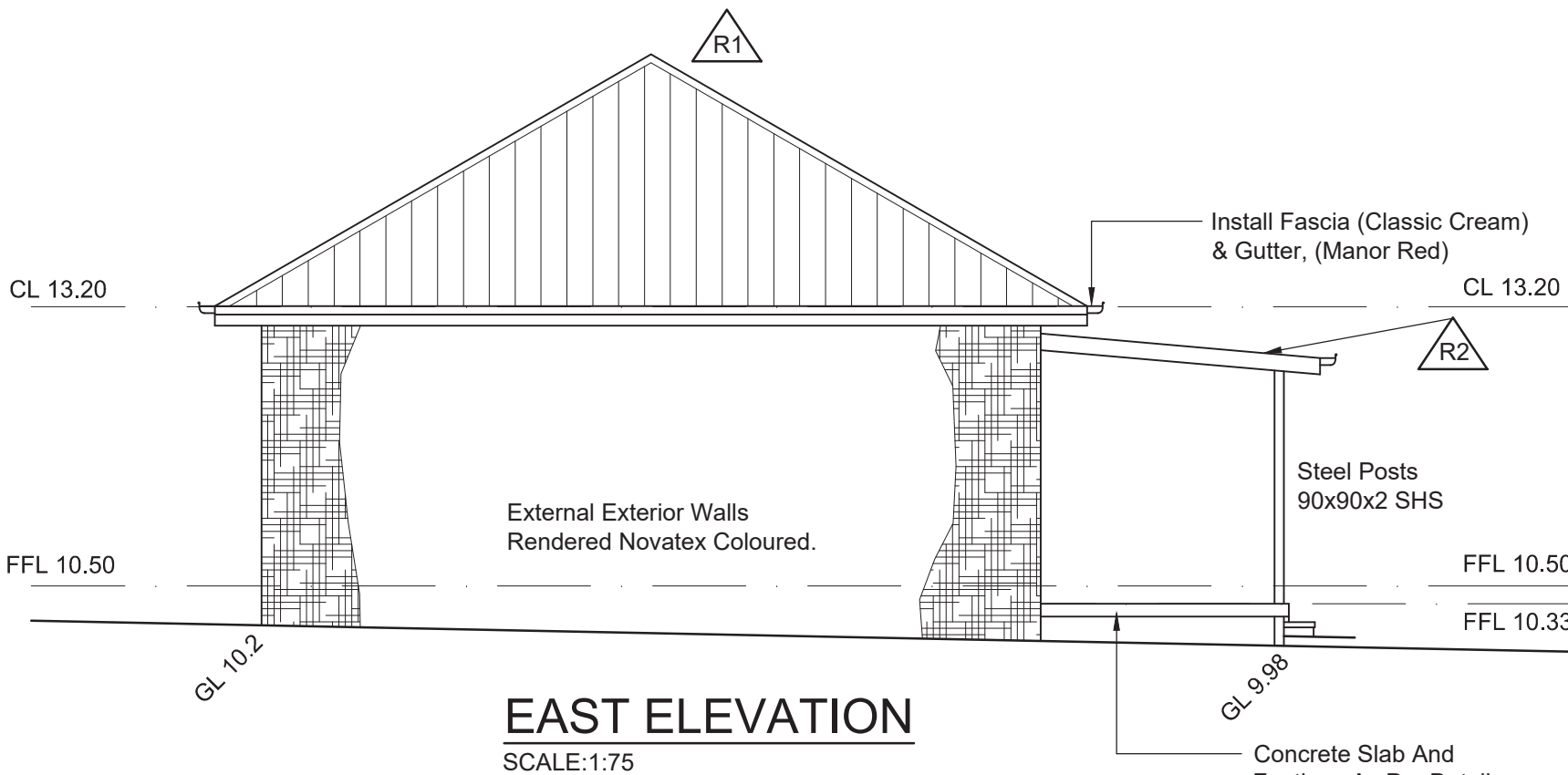
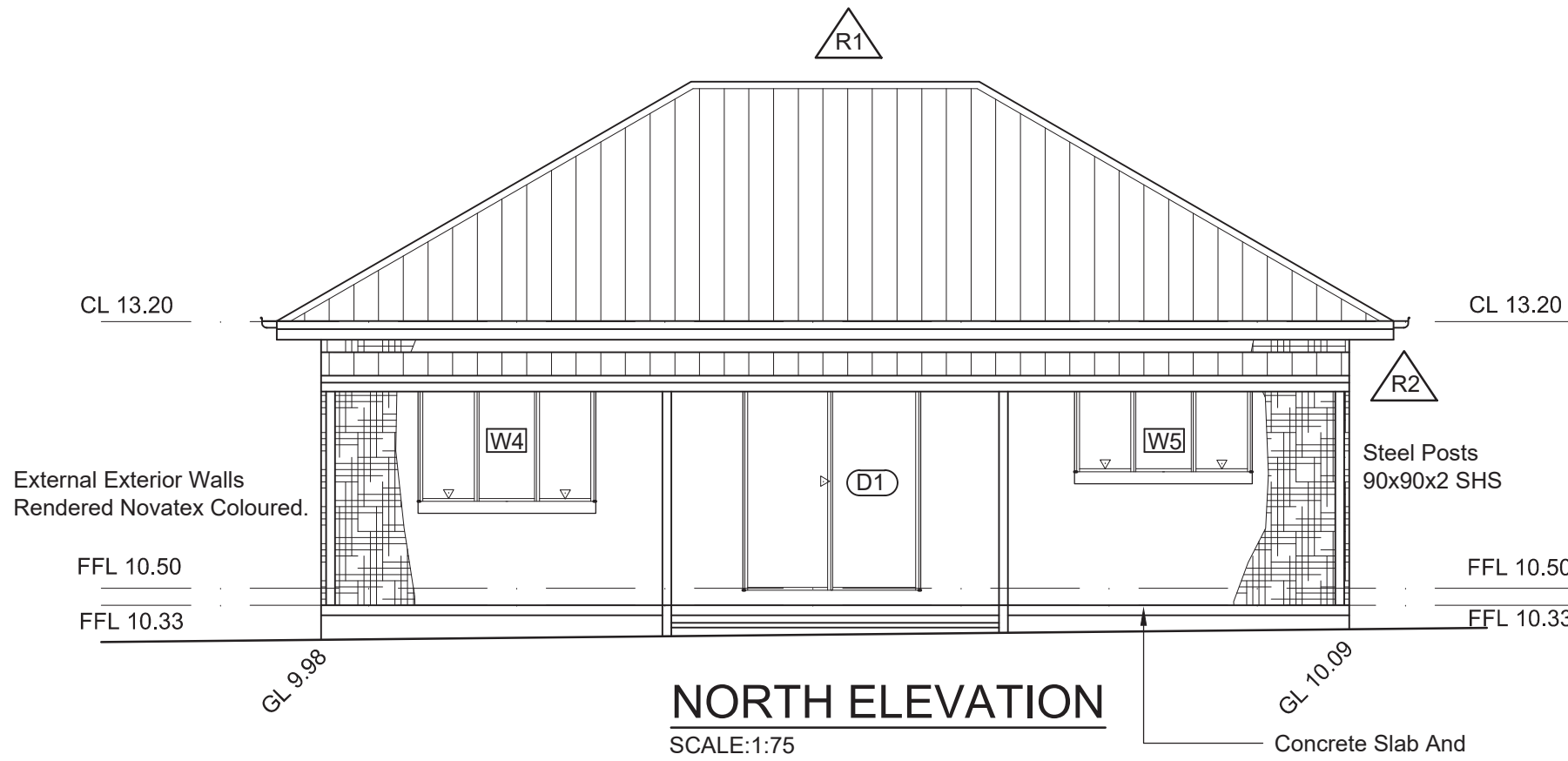
ROOF	ROOF TYPE	ROOF PITCH	COMMENTS	COLOUR
R1	METAL	30.0°	COLORBOND CUSTOM-ORB ROOF SHEETING 75x38 ROOF BATTENS @ 900 CTS GANG NAIL ROOF TRUSSES @ 900 CTS R3.0 INSULATION GALV. CEILING BATTENS @ 450 CTS 10mm GYPROCK CEILING	IRONSTONE
R2	SKILLION	3.00°	COLORBOND CUSTOM-ORB ROOF SHEETING 100x50x2 RHS ROOF BATTENS @ 900 CTS 100x50x2 RHS RAFTERS @ POST LOCATIONS R2.0 INSULATION	IRONSTONE

WIND CLASSIFICATION

ITEM	COMMENTS
REGION	A
TERRAIN	TC2.5
SHEILDING	NS
TOPOGRAPHY	T1
WIND CLASS	W33N
WINDOW RATING	750/150
AS 4055 RATING	N2

FLOOR FINISHED LEVELS

LOCATION	LEVEL
F1	9.80
F2	9.70
F1	10.30
F2	10.20



M WILLARD DESIGN & DRAFTING

496 Koorungal Road, Wagga Wagga, NSW, 2650
Mobile (0400) 659 081
Email: markwillard81@gmail.com

A.B.N.
58 051 212 503

THE INFORMATION AND DESIGN CONCEPTS PROVIDED ON THESE DRAWINGS, OR ANY OTHER DOCUMENTATION OBTAINED BY M WILLARD DESIGN & DRAFTING, IS ON THE UNDERSTANDING THAT THEY REMAIN THE PROPERTY OF M WILLARD DESIGN & DRAFTING. A.B.N. 58051212503, AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN CONSENT.

SHEET SUBJECT
UNIT 2
FLOOR PLAN AND
ELEVATIONS

CLIENT
Mr K. & Mrs M. WILLARD

DESIGNED
M. Willard

SCALE
1:100 (A1), 1:75 (A1)
1:200 (A3), 1:150 (A3)

B	19/09/2022	AMENDMENTS TO NORTH ELEVATION & EXT. WINDOW SCHEDULE	M.W.
A	27/02/2021	ISSUED FOR COUNCIL APPROVAL	M.W.
No.	DATE	AMENDMENTS	BY

PROJECT
PROPOSED SELF CONTAINED UNITS
LOT 1, DP 431751
5872 BATLOW ROAD, TUMUT, N.S.W.

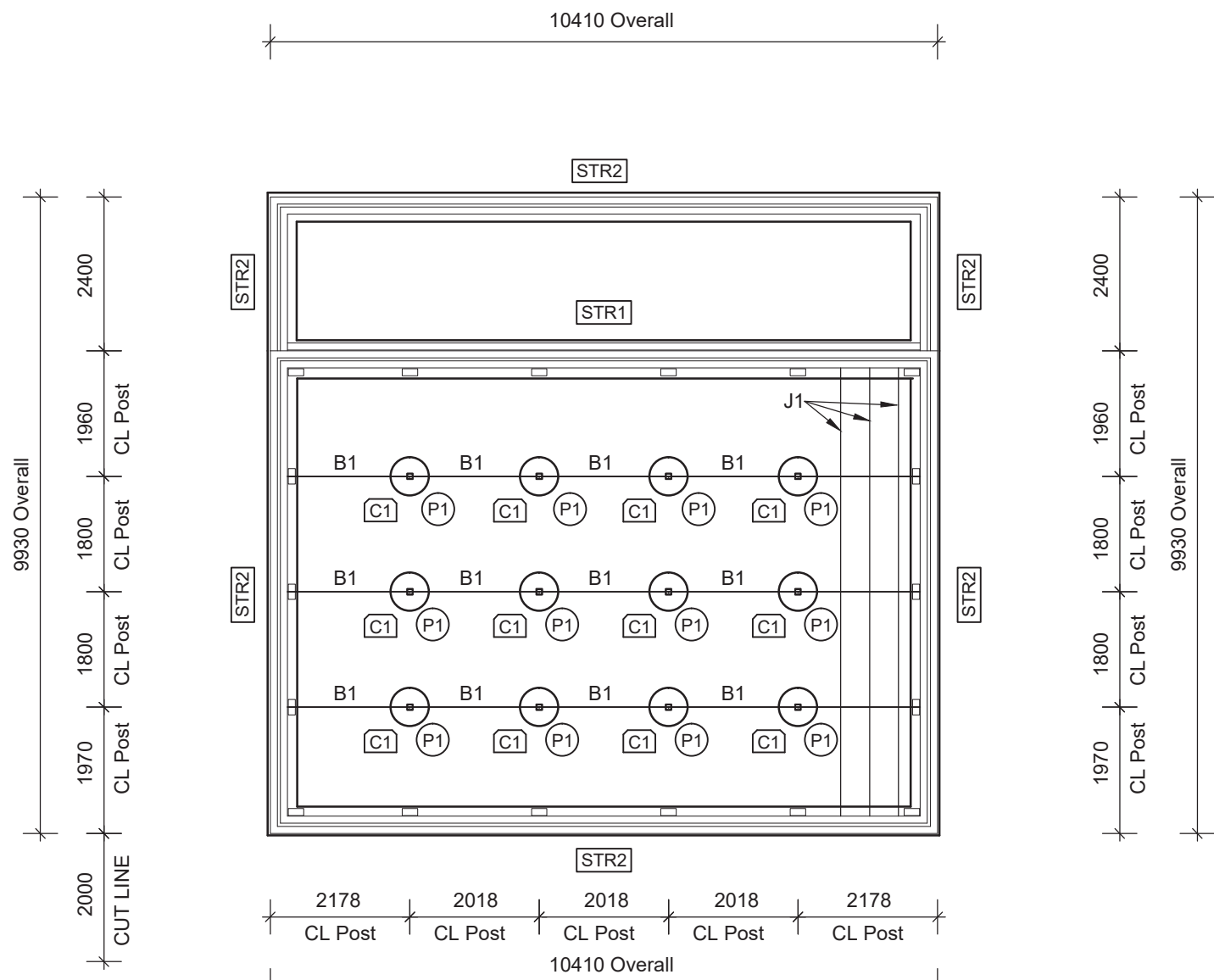
COUNCIL REF.	PROJECT NO. 210201	SHEET NO. 3 of 4	ISSUE B
--------------	-----------------------	---------------------	------------

NOTE

REFER TO LAYOUT PLAN FOR THE EXTERIOR WINDOW, DOOR & ROOFING SCHEDULES.

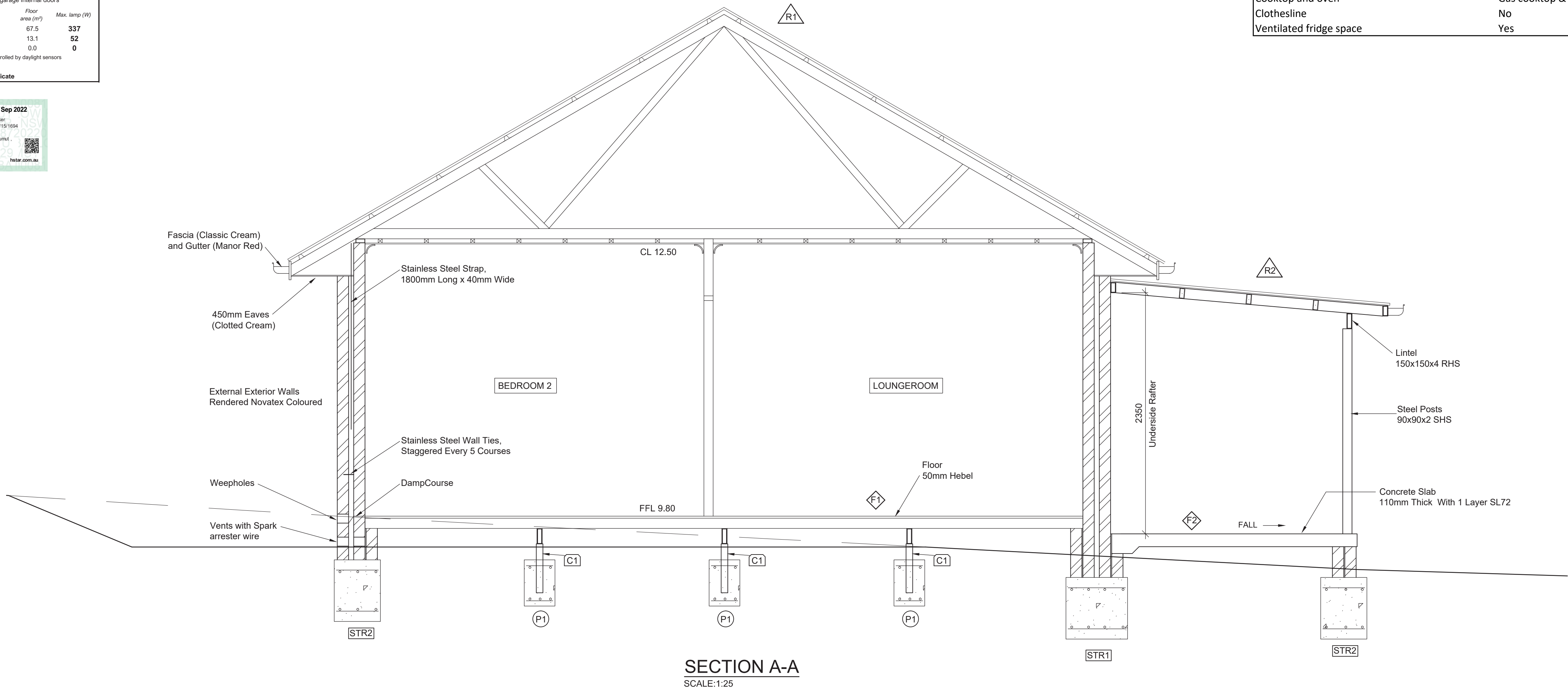
SUB-FLOOR LEGEND	
ITEM	COMMENTS
J1	100x50x2 RHS JOISTS @ 450 CTS MAX.
B1	150x50x2 RHS BEARERS @ 1800 CTS MAX.
C1	65x65x5 SHS
P1	300 DIA. x 500 Deep Concrete Pad Footing
STR1	600 WIDE x 600 Deep Concrete Strip Footing 2 Layers 4 Bars - L12 TM or Equivalent
STR2	450 WIDE x 600 Deep Concrete Strip Footing 2 Layers 4 Bars - L12 TM or Equivalent

ENERGY EFFICIENCY DETAILS				
Insulation & Colour Details				
Ceiling under roof - R3.0				
Roof colour - Colorbond - dark - Ironstone (s.a 0.74)				
External walls (excludes garage) - R1.0/20mm Foilboard				
Enclosed timber floor - 50mm EPS/R1.4				
* R2.9 average cell/insul certified due to reduction around perimeter				
Window Details				
	WERS code	Max U-value	SHGC	+-10%
Aluminium Group B DG Air Fill	ALM-004-01	4.8	0.59	
Aluminium Group A DG Air Fill	ALM-003-01	4.8	0.51	
Building sealing				
No downlights fitted				
Exhaust fans - sealed				
Air infiltration seals to external residence and garage internal doors				
Artificial lighting				
		Max density	Floor area (m²)	Max. lamp (W)
Class 1 internal areas	5 W/m ²	67.5	337	
Attached external areas	4 W/m ²	13.1	52	
Class 10a internal areas	3 W/m ²	0.0	0	
Perimeter lighting to be min. 40 Lumens/Watt or controlled by daylight sensors				
Refer to plans/drafter for proposed wattages				
*Clarifications/details refer to NATHERS Certificate				



UNIT 1 & 2 - SUB-FLOOR PLAN
SCALE:1:100

SUMMARY OF BASIX COMMITMENTS	
CONSTRUCTION	
Floor type	Suspended Hebel, enclosed subfloor
External walls	Cavity Brick
Roof colour	Dark (0.70 or greater)
LANDSCAPING	
Total area of garden or lawn (m2)	300
Area of indigenous planting required	0
WATER	
Rainwater tank	22500 litres (each unit)
Roof area connected to tank (m2)	103.4
Connect all toilets in the development?	yes
Connect at least one outdoor tap?	yes
Connect to washing machine?	yes
Rating of showerheads	4 star (> 6 but <= 7 L/min)
Rating of toilet cisterns	3 star
Rating of bathroom taps	3 star
Rating of kitchen taps	3 star
THERMAL	
Insulation to floor	R1.7
Insulation to external walls	R1.0
Insulation to internal walls	None
Insulation to ceilings	R3.0
Insulation to roof	Sarking
Double glazing	Throughout
ENERGY	
Cooling to living areas	1-phase AC (5 star)
Cooling to bedroom areas	1-phase AC (5 star)
Heating to living areas	1-phase AC (6.5 star)
Heating to bedroom areas	1-phase AC (6.5 star)
Hot water system	Instant gas (5.5 star)
Low energy lighting	Yes, throughout but not dedicated
Bathroom ventilation	Fan, not ducted, manual on/off switch
Kitchen ventilation	Fan, ducted, manual on/off switch
Laundry ventilation	Natural
Cooktop and oven	Gas cooktop & electric oven
Clothesline	No
Ventilated fridge space	Yes



**M WILLARD
DESIGN & DRAFTING**

496 Koorngal Road, Wagga Wagga, NSW, 2650
Mobile (0400) 659 081
Email: markwillard81@gmail.com

A.B.N.
58 051 212 503

THE INFORMATION AND DESIGN CONCEPTS PROVIDED ON THESE DRAWINGS, OR ANY OTHER DOCUMENTATION OBTAINED BY M WILLARD DESIGN & DRAFTING, IS ON THE UNDERSTANDING THAT THEY REMAIN THE PROPERTY OF M WILLARD DESIGN & DRAFTING. A.B.N. 58051212503, AND ARE NOT TO BE DUPLICATED WITHOUT WRITTEN CONSENT.

SHEET SUBJECT
FOOTING PLAN AND SECTION

CLIENT
Mr K. & Mrs M. WILLARD

DESIGNED
M. Willard

SCALE
1:100 (A1), 1:25 (A1)
1:200 (A3), 1:50 (A3)

A	27/02/2021	ISSUED FOR COUNCIL APPROVAL	M.W.
No.	DATE	AMENDMENTS	BY

PROJECT
**PROPOSED SELF CONTAINED UNITS
LOT 1, DP 431751
5872 BATLOW ROAD, TUMUT, N.S.W.**

COUNCIL REF.	PROJECT NO.	SHEET NO.	ISSUE
.	210201	4 of 4	A